Bond Accountability Committee Meeting

January 18, 2017

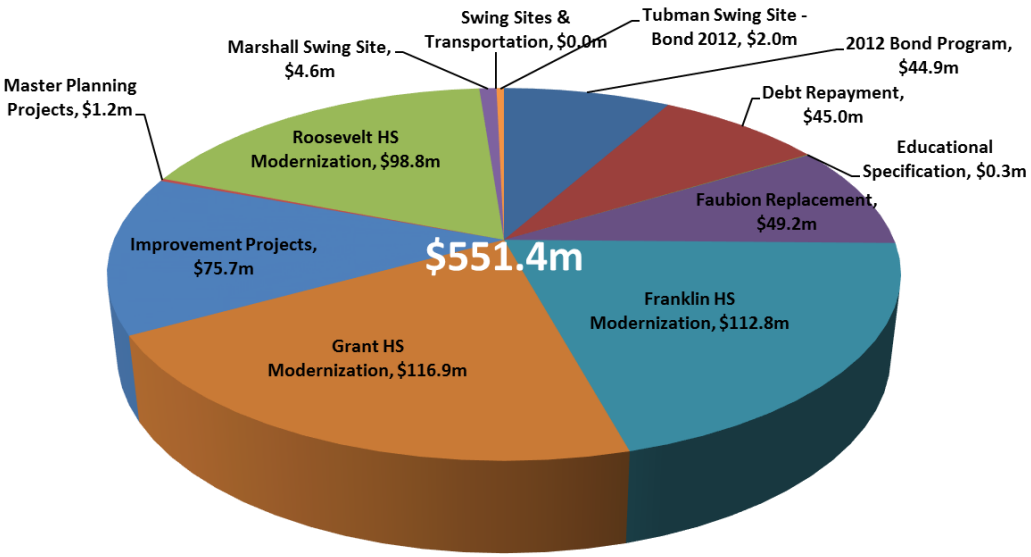
Agenda

- **Welcome & Introductions** **5:30 pm**
- **Public Comments** **5:35 pm**
- **Program Update** **5:45 pm**
- **Project Reports** **6:30 pm**
- **Questions** **7:10 pm**
- **Wrap-Up and Adjourn** **7:20 pm**

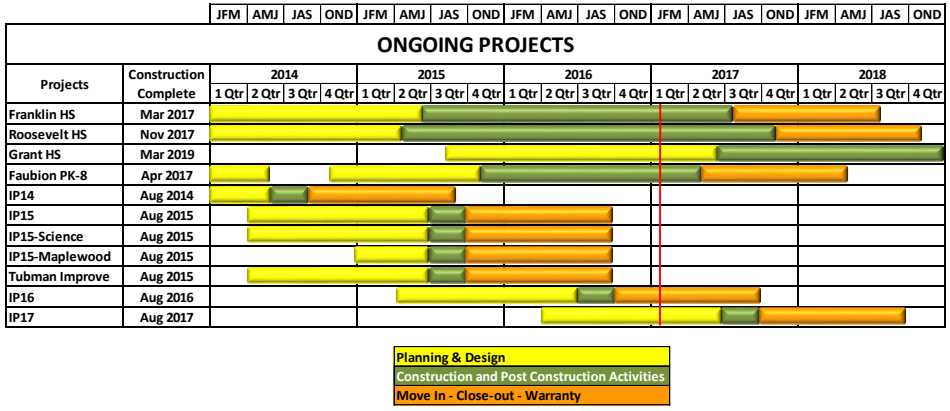
Public Comments

Program Update

Program Projected Budget Break-Down



Schedule



Balanced Scorecard Program Status

Perspective	Last Meeting	Current
Overall	Green	Green
Budget	Yellow	Green
Schedule	Green	Green
Stakeholder	Green	Green
Equity	Green	Green

Comments

1. Franklin HS is in the Construction Phase
2. Roosevelt HS in the Construction Phases 2
3. Faubion PK-8 is in the Construction Phase
4. Grant HS is in the Construction Documents Phase
5. IP15 is in the Close-Out Phase
6. IP16 is in Close-Out and Construction Phases
7. IP17 is in the Construction Documents Phase

Anticipated Progress Next Period

1. Franklin HS will continue in the Construction Phase
2. Roosevelt HS will continue in Construction Phase 2
3. Faubion PK-8 will continue in the Construction Phase
4. Grant will be in the Construction Document Phase
5. IP15 will be Closed-Out
6. IP16 will be in Close-Out except elevators at Chavez and Scott
7. IP17 will be in the Construction Award Phase

Program Update

Balanced Scorecard – Overall Perspective

Narrative Comments:

1. The capital improvement program has reached another milestone by opening phase 1B of Roosevelt High School.

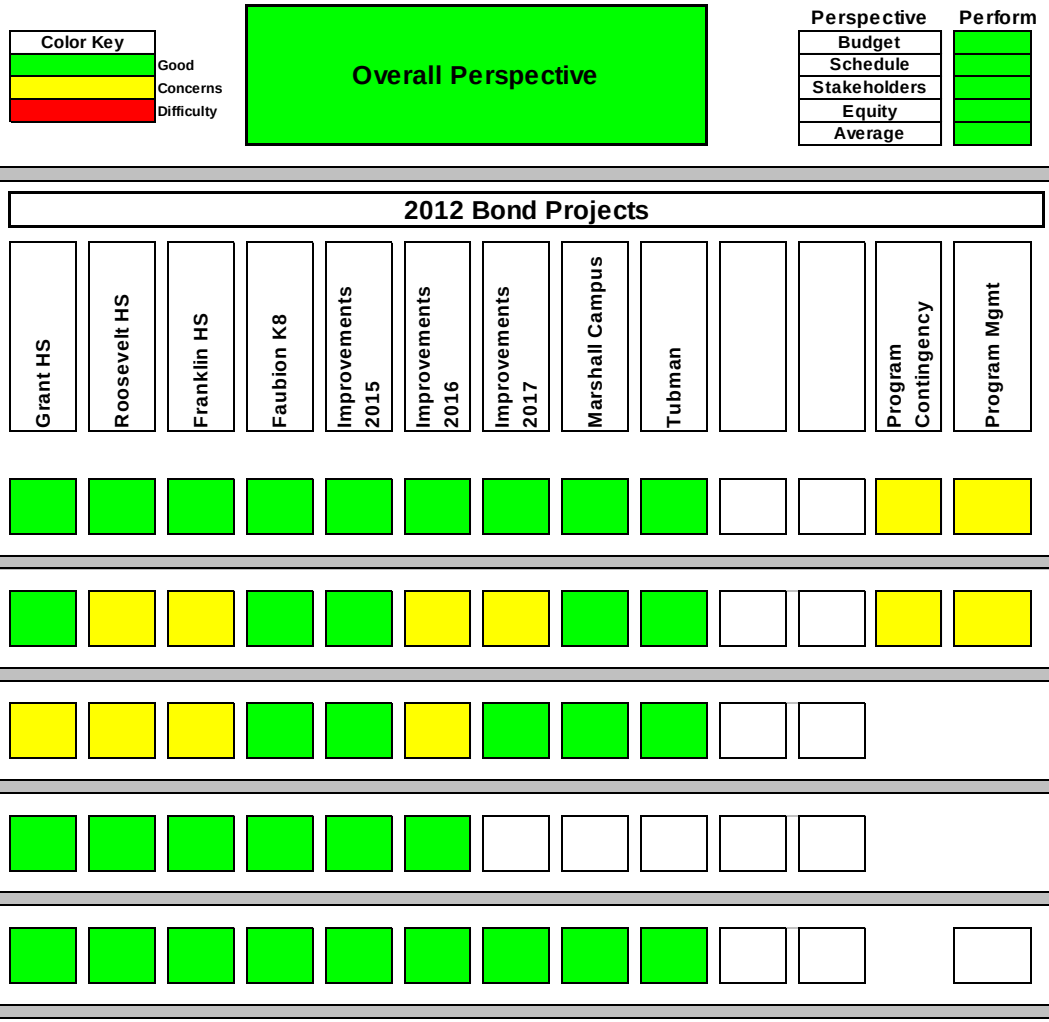
2. Franklin, Faubion and Roosevelt continue to make good progress towards opening facilities in fall 2017.

3. Grant continues on with design development and site investigation work.

4. The majority of IP work has been put on hold. The IP work will be reassessed after the May ballot and Grant HS buyout process.

5. Numerous other projects are coming to the end of the closeout phase.

6. The program has encountered numerous challenges in the past 4 years (including significant size increases to the schools, competitive bidding environments, etc.); the recent weather events pose a new impact to each active project. The project teams are busy accessing the impacts and preparing mitigation plans.



Program Update

Balanced Scorecard – Stakeholder Perspective

Narrative Comments:

1. Feedback continues to be largely positive.

Color Key	
	Good
	Concerns
	Difficulty

Stakeholder Perspective

Strategic Obj.	Perform
A	
B	
C	
Average	

2012 Bond Projects

Strategic Objectives		Performance Measures	Performance Targets	Grant HS	Roosevelt HS	Franklin HS	Faubion K8	Improvements 2015	Improvements 2016	Improvements 2017	Marshall Campus	Tubman				
Objective A Meets Educational Needs	1	Project Scope Meets Educational Needs	Green: Rating of ≥ 4.0 (1 - 5 scale) Yellow: 3.0 - 4.0 Red: < 3.0													
	2	Design Meets Educational Needs														
	3	Construction Meets Educational Needs														
Objective B Meets Maintenance / Facility Needs	4	Project Scope Meets Maint. / Facility Needs	Green: Rating of ≥ 4.0 (1 - 5 scale) Yellow: 3.0 - 4.0 Red: < 3.0													
	5	Design Meets Maint. / Facility Needs														
	6	Construction Meets Maint. / Facility Needs														
Objective C Design Advisory Group (DAG) Needs	7	Master Planning: Scope Meets DAG Needs	Green: Rating of ≥ 4.0 (1 - 5 scale) Yellow: 3.0 - 4.0; Red: < 3.0													
	8	Design Meets DAG Needs														
	9	Construction Meets DAG Needs														

Program Update

Balanced Scorecard – Equity Perspective

Narrative Comments:

1. OSM has transitioned to the district wide business equity tracking system (B2G). We are currently close the 18% aspirational goal for consultant contracts (17%). Construction contracts are just under 11% for a total SOM certified business rate of 11.5%.

2. Workforce equity participation has exceeded expectations. Overall the program is at about 26% participation.

3. OSM exceeded all student participation goals for 2016. Activities are now being planned for 2017.

Color Key	
	Good
	Concerns
	Difficulty

Equity Perspective

Strategic Obj.	Perform
A	
B	
C	
Average	

2012 Bond Projects

Grant HS	Roosevelt HS	Franklin HS	Faubion K8	Improvements 2015	Improvements 2016	Improvements 2017	Marshall Campus	Tubman				Program Mgmt

Strategic Objectives		Performance Measures	Performance Targets
Objective A Meets Aspirational MWESB	1	Project objectives established	Green: MWESB >18% Yellow: MWESB >10% Red: MWESB <10%
	2	Consultants - % of payments made to MWESB owned	
	3	Contractors - % of payments made to MWESB owned	
Objective B apprenticable trade participation	4	Project objectives established >$200k contracts	Green: participation >20% Yellow: participation >10% Red: participation <10%
	5	Contractors % of labor hours/apprenticable trade	
Objective C Meets student participation	6	Project objectives established >$100k contracts	Per AD
	7	Tier 1 - Group Activities EG: career fairs, guest speakers	Green: students > 500 Yellow: students > 100 Red: students < 100
	8	Tier 2 - 1-on-1, Short-Term Activities EG: job shadows, mock interviews	Green: students > 50 Yellow: students > 20 Red: students < 20
	9	Tier 3 - 1-on-1, Long-Term Activities EG: internships	Green: students > 10 Yellow: students > 5 Red: students < 5

2013	2014	2015	2016	2017	2018	2019	2020

Program Update

Career Learning

CAREER LEARNING: 2016	Students Served	Consultants Participated	Hours Contributed
Career Fair	400	7	12
Expo	2,737	22	66
Interacive Project	60	2	4
Interactive Presentation	240	13	25
Interactive Project	250	6	16
Interactive Tour	23	4	8
Internship	9	9	1,560
Job Shadow	1	1	8
Outreach Event	100	2	6
Presentation	55	11	17
Senior Project	10	4	6
Site Tour	165	15	31
Site Walk/Interview	2	2	3
Site Walk/Talk	25	2	3
Workshop	35	2	4
	4,112	**102**	**1,769**

Program Update

Balanced Scorecard – Budget Perspective

Narrative Comments:

1. As noted previously IP2017 has proceeded without the benefit of additional escalation (provided to all projects to date). Lack of additional funding and current market competitiveness have caused IP2017 cost estimates to exceed the project budget. OSM has made the decision to remove scope of work from the project and allocate needed fund elsewhere.

2. Faubion continues to track on budget.

3. Franklin is approximately 75% completed with construction; the frequency of RFI's has decreased significantly however unexpected cost items may still remain.

4. Phase 1 of Roosevelt is complete however not without schedule and cost challenges. Roosevelt now anticipates exceeding the current project budget; however additional funds from a previously procured QZAB loan has been made available for RHS. The QZAB funds should cover all project overages.

5. Preliminary cost data indicates Grant may be the most hard hit by the difficult bid market. The project team is putting contingency plans in place in the event scopes of work are priced significantly higher than expected.

Color Key	
	Good
	Concerns
	Difficulty

Budget Perspective

Strategic Obj.	Perform
A	
B	
C	
D	
Average	

2012 Bond Projects

Strategic Objectives		Performance Measures	Performance Targets
Objective A Project Budget and Scope	1	Initial Cost Estimate of Approved Scope	≥ 10% Contingency Available
	2	Master Plan	Within Budgeted Amount
Objective B Planning & Design Costs within Budget	3	Projected Total P & D Costs	Within Budgeted Amount
Objective C Construction Costs within Budget	4	Construction Cost Award Price or GMP	Within Budgeted Amount
	5	Construction Cost Current Estimate thru 50% complete	>5% project level contingency
Objective D Project within Budget	6	Total Project Costs Within Budgeted Amount	Within Budgeted Amount

Grant HS	Roosevelt HS	Franklin HS	Faubion K8	Improvements 2015	Improvements 2016	Improvements 2017	Marshall Campus	Tubman			Program Contingency	Program Mgmt

Program Update

OSM Project Management Cost Report

Resources	October	Changes	Current
GO Bond	482,000,000		482,000,000
Bond Sale Premium	47,081,952		47,081,952
Earned Interest	605,374		605,374
Concordia University	15,510,000		15,510,000
State Rehabilitation Grant Program (SRGP)	3,166,011		3,166,011
SRGP Match (Fund 405)	85,068		85,068
Senate Bill 1149	1,606,015		1,606,015
Facilities & Asset Management (FAM)	219,817		219,817
Energy Trust	56,080		56,080
Debt Savings (Fund 405)	783,880		783,880
Verizon Roof Design	7,478		7,478
Great Field Funds	65,517		65,517
Partner Contributions	183,000		183,000
	551,370,192	**0**	**551,370,192**

Program Update

OSM Project Management Cost Report

Project Name	Prior Meeting Budget	Current Budget	Delta
Franklin HS Modernization	112,753,859	112,753,859	-
Grant HS Modernization	116,894,081	116,894,081	-
Roosevelt HS Modernization	98,838,790	98,838,790	-
Faubion Replacement	49,211,939	49,211,939	-
Improvement Project 2013	11,963,139	11,963,139	-
Improvement Project 2014	17,811,788	17,811,788	-
Improvement Project 2015	13,623,142	13,623,142	-
Improvement Project 2015 - Maplewood	1,518,698	1,518,698	-
Improvement Project 2015 - SCI	2,057,687	2,057,687	-
Improvement Project 2016	16,240,783	16,240,783	-
Improvement Project 2017	10,232,864	10,232,864	-
Improvement Project 2018	1,969,002	1,969,002	-
Improvement Project 2019	273,995	273,995	-
Master Planning - Benson HS	500,000	398,642	(101,358)
Master Planning - Cleveland HS	-	-	-
Master Planning - Jefferson HS	-	-	-
Master Planning - Lincoln HS	400,000	400,000	-
Master Planning - Madison HS	400,000	400,000	-
Master Planning - Wilson HS	-	-	-
Marshall Swing Site - Bond 2012	4,609,080	4,609,080	-
Tubman Swing Site - Bond 2012	1,963,479	1,963,479	-
Swing Sites & Transportation	-	-	-
Educational Specification	275,168	275,168	-
Debt Repayment	45,000,000	45,000,000	-
2012 Bond Program	44,832,701	44,934,059	101,358
	551,370,195	**551,370,195**	**-**

Notable Budget Changes

- **Financially closed Benson Master Planning**

Program Update

OSM Project Management Cost Report

Project Name	Original Budget	Approved Budget Changes	Current Budget	*Current Commitments*	Estimate At Completion	Forecasted Over/(Under)	Actuals Approved	*Estimated Final Project Cost*	*Estimated Over/(Under) Budget*
	A	B	C (B + C)	*D*	E	F (E - C)	G	*H*	*I (H-C)*
Franklin HS Modernization	81,585,655	31,168,204	112,753,859	108,382,213	112,464,004	(289,855)	74,188,073	112,753,859	-
Grant HS Modernization	88,336,829	28,557,252	116,894,081	10,520,130	105,689,053	(11,205,028)	4,319,320	116,894,081	-
Roosevelt HS Modernization	68,418,695	30,420,095	98,838,790	91,818,800	98,132,035	(706,755)	73,003,698	100,000,000	1,161,210
Faubion Replacement	27,035,537	22,176,402	49,211,939	44,963,346	48,418,595	(793,344)	28,258,362	49,211,939	-
Improvement Project 2013	9,467,471	2,495,668	11,963,139	11,963,139	11,963,139	-	11,963,139	11,963,139	-
Improvement Project 2014	13,620,121	4,191,667	17,811,788	17,811,788	17,811,788	-	17,811,788	17,811,788	-
Improvement Project 2015	13,521,066	102,076	13,623,142	13,473,451	13,473,451	(149,691)	13,473,451	13,473,451	(149,691)
Improvement Project 2015 - Maplewood	-	1,518,698	1,518,698	1,518,698	1,518,698	-	1,518,698	1,518,698	-
Improvement Project 2015 - SCI	-	2,057,687	2,057,687	2,057,686	2,057,686	(1)	2,057,686	2,057,686	(1)
Improvement Project 2016	15,274,437	966,346	16,240,783	15,919,296	16,052,862	(187,921)	14,444,723	16,240,783	-
Improvement Project 2017	6,796,707	3,436,157	10,232,864	2,757,256	4,518,503	(5,714,361)	1,460,539	5,020,558	(5,212,306)
Improvement Project 2018	9,062,119	(7,093,117)	1,969,002	-	1,673,652	(295,350)	-	1,969,002	-
Improvement Project 2019	-	273,995	273,995	-	232,896	(41,099)	-	273,995	-
Master Planning - Benson HS	191,667	206,975	398,642	398,642	398,642	-	398,642	398,642	-
Master Planning - Cleveland HS	191,667	(191,667)	-	-	-	-	-	-	-
Master Planning - Jefferson HS	191,667	(191,667)	-	-	-	-	-	-	-
Master Planning - Lincoln HS	191,667	208,333	400,000	373,374	400,000	-	357,094	400,000	-
Master Planning - Madison HS	191,667	208,333	400,000	324,080	400,000	-	324,070	400,000	-
Master Planning - Wilson HS	191,667	(191,667)	-	-	-	-	-	-	-
Marshall Swing Site - Bond 2012	-	4,609,080	4,609,080	4,069,877	4,069,877	(539,203)	4,069,877	4,069,877	(539,203)
Tubman Swing Site - Bond 2012	-	1,963,479	1,963,479	1,164,776	1,164,776	(798,703)	1,107,509	1,164,776	(798,703)
Swing Sites & Transportation	9,550,000	(9,550,000)	-	-	-	-	-	-	-
Educational Specification	-	275,168	275,168	275,168	275,168	-	275,168	275,168	-
Debt Repayment	45,000,000	-	45,000,000	45,000,000	45,000,000	-	45,000,000	45,000,000	-
2012 Bond Program	93,181,361	(48,247,302)	44,934,059	26,311,550	38,728,066	(6,205,993)	17,685,464	44,934,059	-
	482,000,000	**69,370,195**	**551,370,195**	**399,103,270**	**524,442,892**	**(26,927,304)**	**311,717,303**	**545,831,502**	**(5,538,693)**

Program Update

Balanced Scorecard – Schedule Perspective

Narrative Comments:

1. Recent rain, snow and ice events have caused schedule impacts at all sites. OSM and the project teams are currently assessing the impacts and generative recovery schedule.

2. The Roosevelt team surpassed another milestone by successfully opening phase 1B. Punchlist work continues in 1B as focus turns to phase 2.

3. Franklin High School is close to completing the majority of the work on the new athletics and science building.

4. The very wet fall has had maybe the most impact on Faubion's roof progress. A temporary "tent" structure was constructed to allow roofers to continue working in the rain.

5. Cost and scope changes have put the Grant team behind, but the team believes they will be able to make up this time.

Color Key: Good / Concerns / Difficulty

Schedule Perspective

Strategic Obj.	Perform
A	
B	
C	
D	
Average	

2012 Bond Projects

Strategic Objectives		Performance Measures	Performance Targets
Objective A Establish Schedule Target & Strategy	1	Occupancy Date Goal Established	
	2	Project Execution Strategy Developed	
	3	Overall Project Schedule Established	
Objective B Planning, Permitting & Design Phases on Schedule	4	Design Contract Award	Green = < 0 weeks impact on scheduled design completion date. Yellow = 0 - 4 weeks Red > 4 weeks
	5	Schematic Design Completed	
	6	Design Development Completed	
	7	Land Use Permit Approved	
	8	Construction Contract Documents	
	9	Building Permit Approved	
Objective C Construction on Schedule	10	Prime Contract Notice to Proceed	Green = < 0 weeks impact on scheduled construction completion date. Yellow = 0 - 4 weeks; Red > 4 weeks
	11	Construction Started	
	12	Substantial Completion Date	
Objective D Meet Occupancy / Completion Schedule Target	13	FF&E Ordered	Same as Objective C
	14	FF&E Delivered and Installed	
	15	Projected Occupancy Date	Green = < 0 weeks impact on scheduled date. Yellow = 0 - 4 weeks; Red > 4 weeks

Grant HS	Roosevelt HS	Franklin HS	Faubion K8	Improvements 2015	Improvements 2016	Improvements 2017	Marshall Campus	Tubman				

Program Update

Project Updates

- Franklin High School
- Roosevelt High School
- Grant High School
- Faubion PK-8
- Tubman Campus
- IP2015
- IP2016
- IP2017
- Master Planning

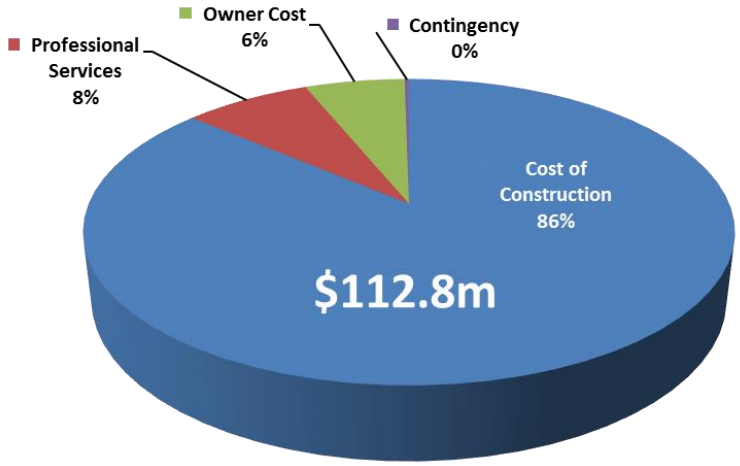
Franklin HS Modernization

Project Description

Brief Project Description: Full campus modernization to accommodate a student capacity of 1,700 and a core capacity of 1,700 students based on a master planning process that included stakeholder input. All campus functions have been relocated to the Marshall Campus.

Current Project Phase:	Construction
Construction Start:	Summer of 2015
Construction Duration:	25.0 Months
Scheduled Completion:	Summer of 2017
Design Firm:	DOWA-IBI Group
Contractor:	Skanska

Projected Budget Breakout



Comments

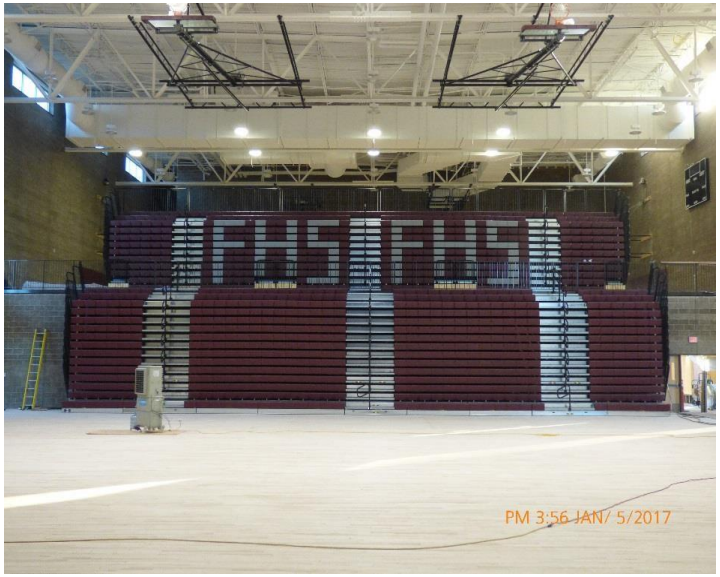
1. **Skanska currently indicates negative eleven (-11) days of float in the completion date for the buildings. This is associated with what appears to be some design errors at Sector 1 Storefront.**

2. **The overall substantial completion date has been adjusted due to the added scope at the football field.**

3. **PPS provided a tour for the FHS Newspaper/Journalism team of the construction project.**

4. **SAFETY:**
   - **Recordable Accidents: 5**
   - **Reportable Accidents: 0**

Photos



Main Gym Bleachers

Franklin HS Modernization

SKANSKA

January 2, 2017

Franklin HS Modernization

Sector 2 Drywall Soffit Prep for Paint

Sector 3 Floor Preparation

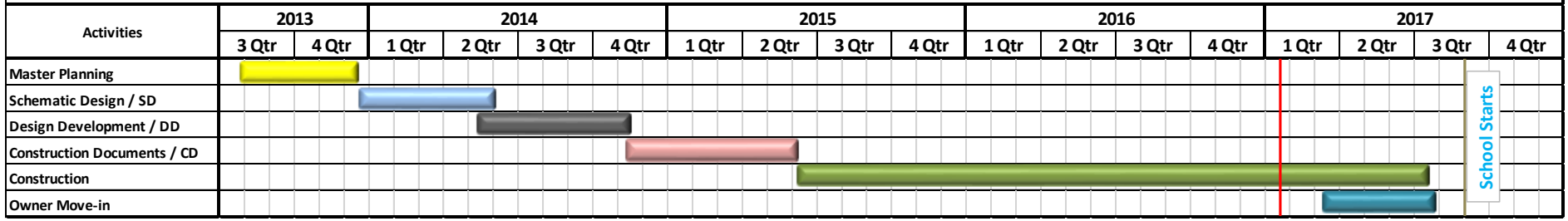
Sector 7 Salvaged Old Gym Floor Wall Panel

Sectors 7 and 6 on 11 Jan 16

Franklin HS Modernization

Schedule

Summary Schedule



Significant Schedule Milestone Assessment

Significant Milestone Activity Name	Baseline		Schedule Update				Actual					
	Start	Finish	Start	Start Delta from PDB *	Finish	Finish Delta from PDB*	Start	Start Delta from PDB*	Start Delta from Update*	Finish	Finish Delta from PDB*	Finish Delta from Update*
Issue Building Permit (BP #3)	10-May-15	10-May-15	17-Aug-15	99	17-Aug-15	99	3-Sep-15	116	17	3-Sep-15	116	17
S1 - Performing Arts Center	29-Jun-15	17-Mar-17	29-Jun-15	0	28-Apr-17	42	29-Jun-15	0	0			
S2 - STEM/CTE	29-Jun-15	30-Nov-16	29-Jun-15	0	21-Apr-17	142	29-Jun-15	0	0			
S3 - West Wing Classroom Renovations	31-Jul-15	23-Nov-16	31-Jul-15	0	15-Feb-17	84	31-Jul-15	0	0			
S4 - Main Building Renovations	4-Sep-15	29-Dec-16	4-Sep-15	0	14-Apr-17	106	4-Sep-15	0	0			
S5 - Student Commons	9-Jul-15	16-Feb-17	9-Jul-15	0	2-May-17	75	9-Jul-15	0	0			
S6 - East Wing Renovations	21-Sep-15	2-Dec-16	21-Sep-15	0	2-May-17	151	19-Aug-15	-33	-33			
S7 - Athletic Bldg	22-Jul-15	3-Jan-17	22-Jul-15	0	26-Jan-17	23	22-Jul-15	0	0			
S8 - Grandstand & Concessions	28-Jul-16	2-Dec-16	28-Jun-16	-30	27-Jan-17	56	22-Aug-16	25	55			
Athletic Field Construction	17-Nov-15	11-Jul-17	16-Jan-17	426	26-Jun-17	-15						
Owner Move In	21-Mar-17	23-Aug-17	26-Jan-17	-54	31-Jul-17	-23						
Substantial Completion Building	17-Mar-17	17-Mar-17	2-May-17	46	2-May-17	46						
Substantial Completion Site	19-Jul-17	19-Jul-17	26-Jun-17	-23	26-Jun-17	-23						

Changed Schedule Dates

Activity has reached some or all completion dates

* Calendar Days

Construction Status	
Percent Complete Planned:	78%
Percent Complete Actual:	77%
Percent Construction Time Used:	74%

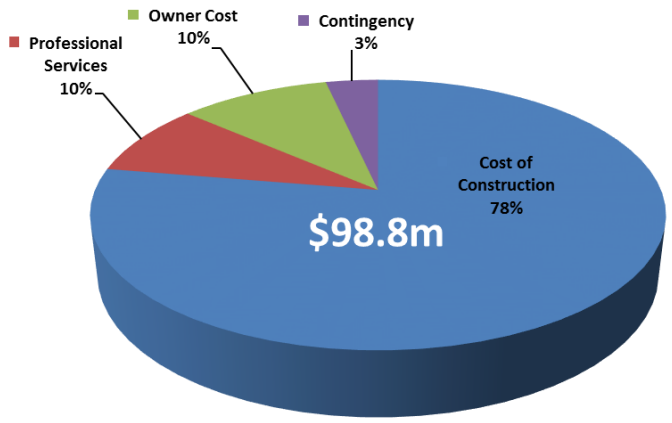
Roosevelt HS Modernization

Project Description

Brief Project Description: Full campus modernization to accommodate a student capacity of 1,350 and a core capacity of 1,700 based on master planning and schematic design processes that included stakeholder input. All students are to be housed on site during the phased project construction.

Current Project Phase:	Construction
Construction Start:	Spring of 2015
Construction Duration:	31.1 Months
Scheduled Building Completion:	Summer of 2017
Design Firm:	Bassetti Architects
Contractor:	Lease Crutcher Lewis

Projected Budget Breakout



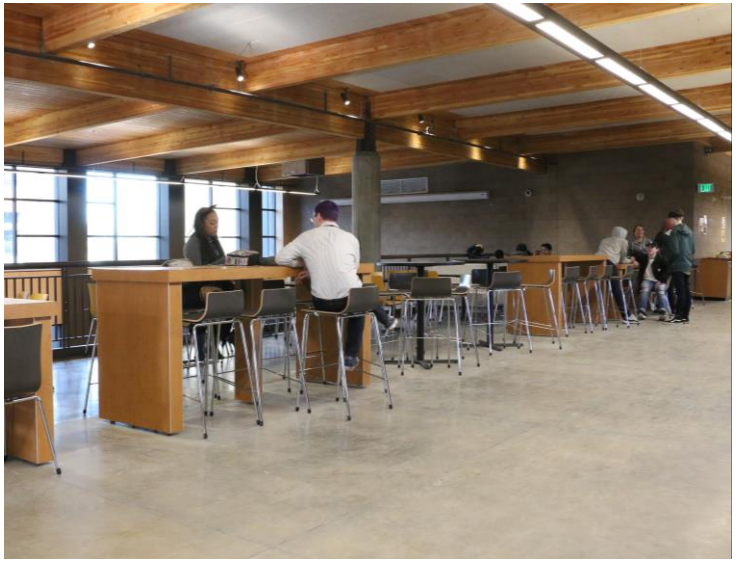
Comments

1. **Cost impacts related to the work on-going in Phase 2 (1921) building continue to be felt as the Contractor completes the demolition portion of the project**

2. **Unforeseen and hidden condition type costs continue with items such as floor elevation issues, additional shoring costs for framing modifications, extensive framing modifications at the West end, asbestos abatement, and MEP routing modifications due to hidden/unforeseen structure.**

3. **SAFETY:**
   - **Recordable Accidents: 1**
   - **Reportable Accidents: 0**

Photos



Students Using Upper Commons

Roosevelt HS Modernization

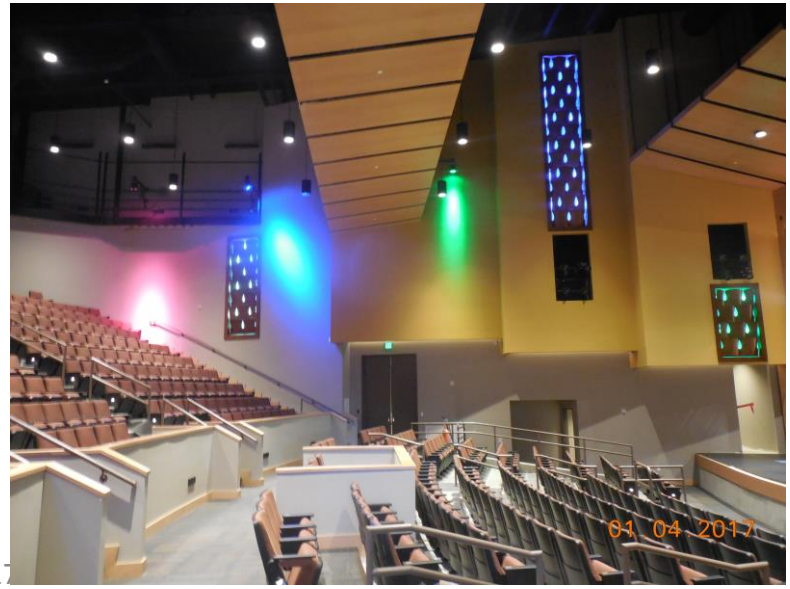
January 1, 2017

Roosevelt HS Modernization

B2 Roof Decking Over Commons

B2 Commons Ground Level - Hydronic Piping at SOG

South Wing 2nd Level – Demo Complete & Shoring Installed

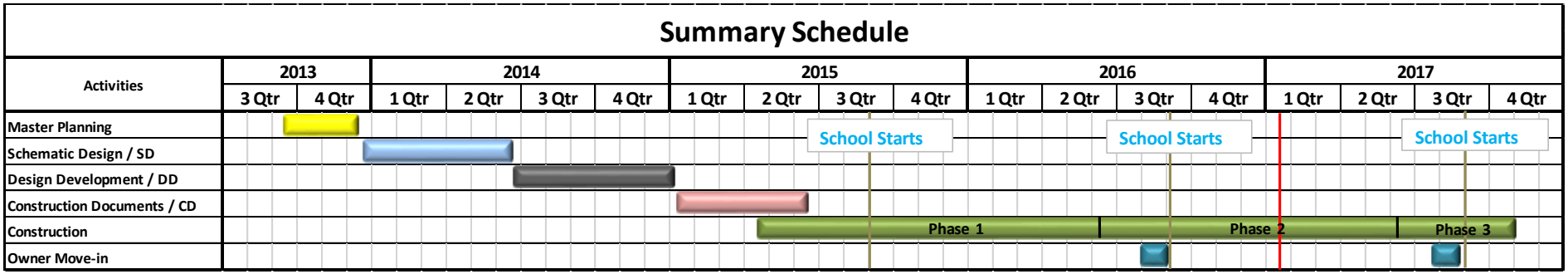


New Theater

Roosevelt HS Modernization

Schedule

Summary Schedule



Significant Schedule Milestone Assessment

Significant Milestone Activity Name	PD Baseline		Schedule Update				Actual					
	Start	Finish	Start	Start Delta from PDB *	Finish	Finish Delta from PDB*	Start	Start Delta from PDB*	Start Delta from Update*	Finish	Finish Delta from PDB*	Finish Delta from Update*
P1 - North Library Demolition	26-Jun-15	27-Jul-15	30-Mar-15	-88	13-Aug-15	17	22-Jun-15	-4	84	10-Jul-15	-17	-34
P1 - Gym Demolition	10-Apr-15	17-Jul-15	30-Mar-15	-11	13-Aug-15	27	17-Apr-15	7	18	18-Aug-15	32	5
P1 - Boiler Room Demolition	16-Jul-15	13-Aug-15	30-Mar-15	-108	13-Aug-15	0	12-Aug-15	27	135	8-Sep-15	26	26
Issue Final Building Permit - BP #2	----	23-Jan-15	29-May-15	----	21-Aug-15	210	29-May-15	----	0	14-Dec-15	325	115
P1 - Media Center / Library	28-Aug-15	27-Jun-16	29-Jun-15	-60	19-Sep-16	84	2-Jul-15	-57	3	29-Oct-16	124	40
P1 - Gym Construction	29-Jun-15	11-Aug-16	6-Jul-15	7	5-Aug-16	-6	19-Aug-15	51	44	29-Oct-16	79	85
P1 - Owner Move In	21-Mar-17	----	1-Aug-16	-232	28-Aug-16	----	1-Aug-16	-232	0	28-Aug-16	----	0
P1B - Performing Arts / Commons	10-Aug-15	12-Aug-16	28-Sep-15	49	14-Dec-16	124	28-Sep-15	----	0	3-Jan-17	----	20
P1B - Owner Move In	----	----	31-Oct-16	----	30-Dec-16	----	12-Dec-16	----	42	3-Jan-17	----	4
P2 - 1921 Building Construction	7-Sep-16	17-Aug-17	10-Jun-16	-89	31-Jul-17	-17	10-Jun-16	-89	0			
P2 - Owner Move In	----	23-Aug-17	25-Jul-17	----	7-Aug-17	-16						
P3 - Sitework Construction	13-Jun-17	2-Nov-17	1-May-17	-43	3-Nov-17	1						

Changed Schedule Dates

Activity has reached some or all completion dates

* Calendar Days

Construction Status	
Percent Complete Planned:	75%
Percent Complete Actual:	74%
Percent Construction Time Used:	67%

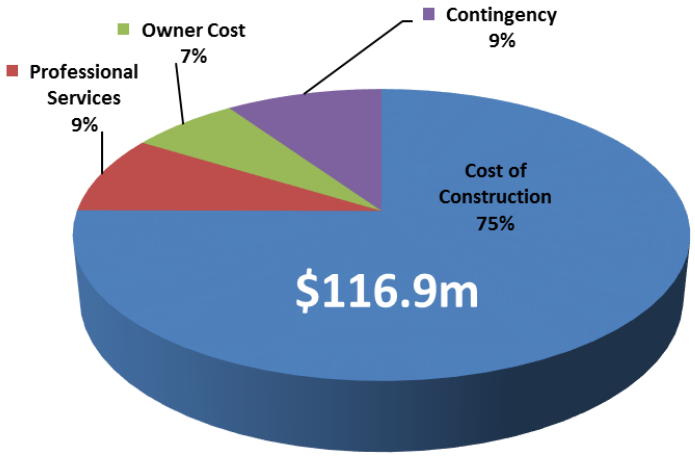
Grant HS Modernization

Project Description

Brief Project Description: Full campus modernization to accommodate a student capacity of 1,700 and a core capacity of 1,700 students based on a master planning process that includes stakeholder input. All campus functions are to be relocated to the Marshall Campus during construction.

Current Project Phase:	Construction Documents
Construction Start:	Summer of 2017
Construction Duration:	21.4 Months
Scheduled Completion:	Summer of 2019
Design Firm:	Mahlum
Contractor:	Anderson - Colas

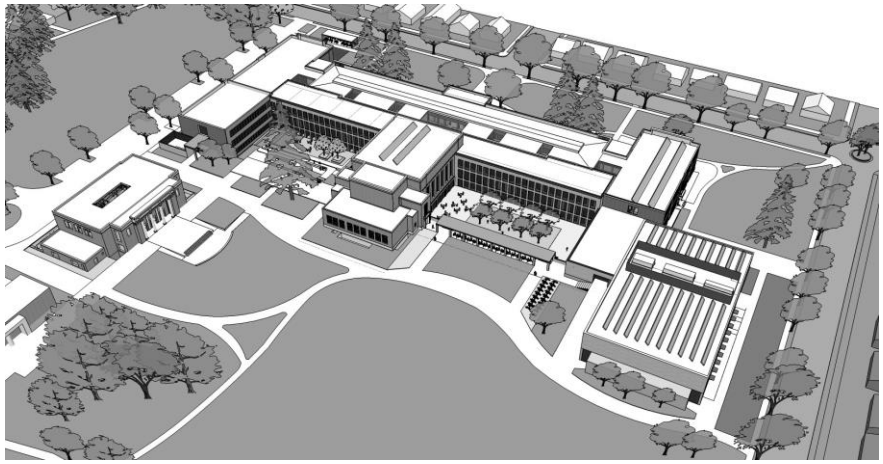
Projected Budget Breakout



Comments

1. **Internal Stakeholder + Outreach: over 30 meetings with stakeholders regarding scope changes from 100 SD to 50DD**
2. **SRGP application was sent out for two building 1923 Gym and 1928 Auditorium hoping to receive 3M for the project**
3. **Land Use Early submittal is going in Nov 4th we had an early assistance meeting on 8/31/16**
4. **Coordination with FHS for the Marshal Campus is ongoing**

Photos

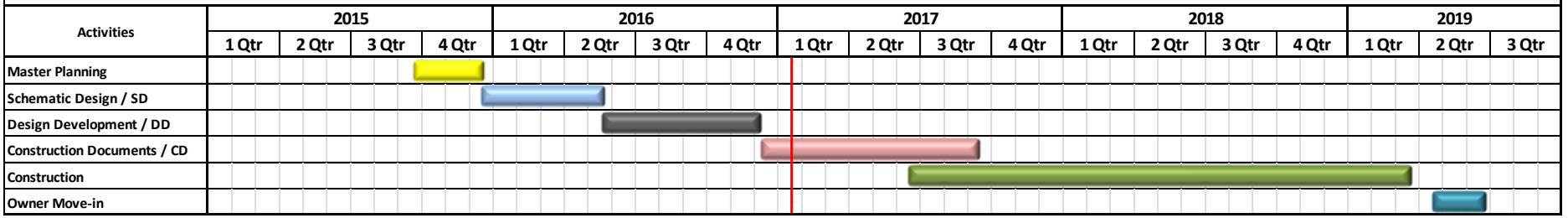


Design Rendering

Grant HS Modernization

Schedule

Summary Schedule



Significant Schedule Milestone Assessment

Significant Milestone Activity Name	Project Director Baseline (PDB)		Schedule Update				Actual					
	Start	Finish	Start	Start Delta from PDB*	Finish	Finish Delta from PDB*	Start	Start Delta from PDB*	Start Delta from Update*	Finish	Finish Delta from PDB*	Finish Delta from Update*
Prepare, Release Design Firm RFP	16-Mar-15	10-Apr-15	4-Feb-15	-40	31-Mar-15	-10	28-Jan-15	-47	-7	29-Jun-15	80	90
Design Notice to Proceed	1-Jul-15	1-Jul-15	19-Aug-15	49	19-Aug-15	49	23-Sep-15	84	35	23-Sep-15	84	35
Master Planning	1-Jul-15	9-Oct-15	19-Aug-15	49	15-Dec-15	67	23-Sep-15	84	35	15-Dec-15	67	0
Master Plan Approved by PPS BOE	9-Oct-15	9-Oct-15	16-Dec-15	68	16-Dec-15	68	15-Dec-15	67	-1	15-Dec-15	67	-1
Schematic Design	10-Oct-15	4-Apr-16	16-Dec-15	67	20-May-16	46	16-Dec-15	67	0	20-May-16	46	0
Request Proposals by CM/GC	6-Nov-15	14-Dec-15	16-Feb-16	102	30-Mar-16	107	3-Mar-16	118	16	6-Apr-16	114	7
CM/GC Notice To Proceed (Precon)	4-Feb-16	4-Feb-16	3-May-16	89	3-May-16	89	26-May-16	112	23	26-May-16	112	23
Design Development	5-May-16	10-Sep-16	20-May-16	15	7-Dec-16	88	21-May-16	16	1	7-Dec-16	88	0
Permit 1	11-Mar-17	----	17-Mar-17	6	23-Jun-17	----						
Permit 2	----	9-Jun-17	30-Jun-17	----	20-Oct-17	133						
50% CD	11-Sep-16	----	23-Dec-16	103	18-May-17	----	7-Dec-16	87	-16			
Sign GMP on 50%CD	7-Oct-16	7-Oct-16	28-Jun-17	264	28-Jun-17	264						
100% CD	----	1-May-17	19-May-17	----	8-Sep-17	130						
Building Permit 3	11-Mar-17	9-Jun-17	20-Oct-17	223	16-Feb-18	252						
CM/GC Mobilize to site	15-Jun-17	15-Jun-17	15-Jun-17	0	15-Jun-17	0						
Substantial Completion	20-Mar-19	20-Mar-19	20-Mar-19	0	20-Mar-19	0						
Owner Move In	2-May-19	20-Jun-19	23-Apr-19	-9	20-Jun-19	0						

Changed Schedule Dates
Activity has reached some or all completion dates

* Calendar Days

Master Plan	2.8 months
Activity Durations	
SDs	5.2 months
DDs	6.7 months
CDs	9.2 months
Total Design	21.0 months
Construction	21.4 months

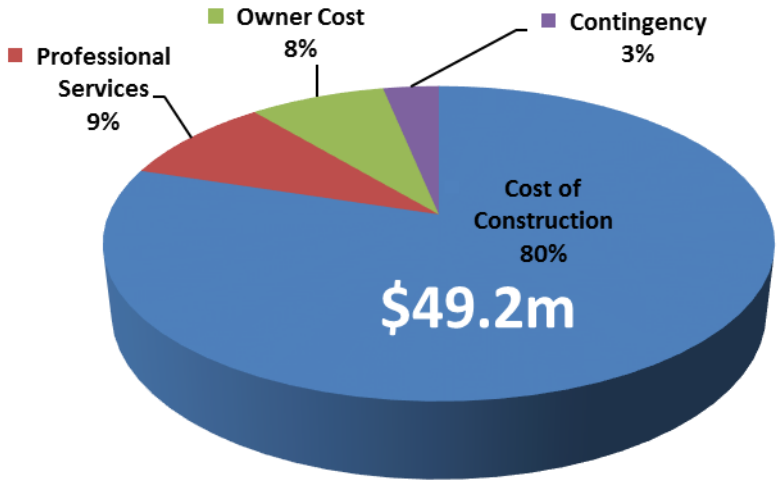
Faubion PK-8 School Replacement

Project Description

Brief Project Description: In direct partnership with Concordia University for a full campus replacement, this project will be constructed based on a master planning process that included stakeholder input. All campus functions are to be relocated during construction.

Current Project Phase:	Construction
Construction Start:	1st Qtr 2015
Construction Duration:	16.8 Months
Scheduled Completion:	Summer of 2017
Design Firm:	BORA
Contractor:	Todd Construction

Projected Budget Breakout



Comments

1. **Continued delays on the roof are pushing out the critical path**
2. **Work continues inside the building at approx. 90% dried in**
3. **Main Air Handling Units were delivered and set on the building December 30th.**
4. **SAFETY:**
   - **Recordable Accidents: 0**
   - **Reportable Accidents: 0**

Photos

AHU Lift

Faubion K-8 Replacement

TODD Construction INC.

BORA

January 5, 2017

Faubion K-8 Replacement

Welcome Hall

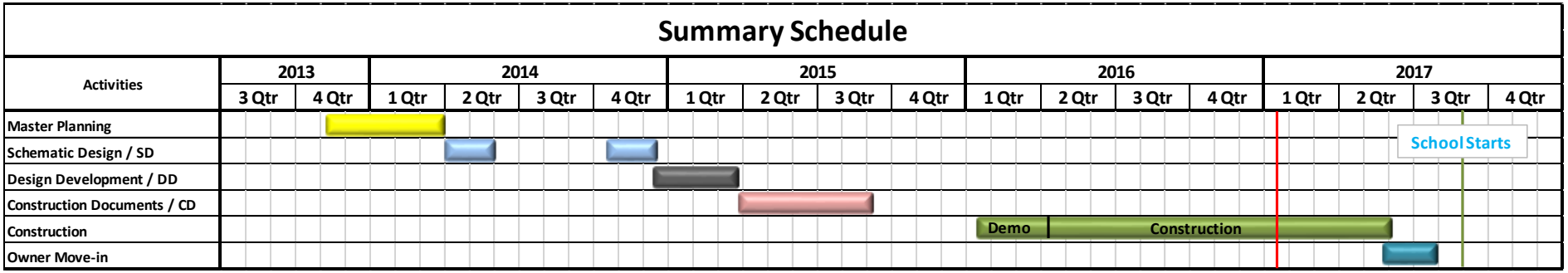
Ongoing Rough In Sector C

Faubion A-B Wing – 11 Jan 17

Faubion PK-8 School Replacement

Schedule

Summary Schedule



Significant Schedule Milestone Assessment

Significant Milestone Activity Name	Baseline (BL)		Schedule Update				Actual					
	Start	Finish	Start	Start Delta from BL*	Finish	Finish Delta from BL*	Start	Start Delta from BL*	Start Delta from Update	Finish	Finish Delta from BL*	Finish Delta from Update
Land & Building Permits	6-Jan-15	25-Mar-16	27-May-14	-224	19-Feb-16	-35	27-May-14	-224	0	23-Feb-16	-31	4
GC Notice To Proceed	29-Jan-16	29-Jan-16	16-Dec-15	-44	16-Dec-15	-44	14-Jan-16	-15	29	14-Jan-16	-15	29
GC Mobilize to site	13-Jun-16	13-Jun-16	17-Dec-15	-179	17-Dec-15	-179	15-Jan-16	-150	29	15-Jan-16	-150	29
Site Preparation and Demolition	15-Jan-16	22-Mar-16	15-Jan-16	0	22-Mar-16	0	15-Jan-16	0	0	16-Mar-16	-6	-6
Underground, Foundation, SOG	26-Jan-16	6-Jun-16	26-Jan-16	0	21-Jul-16	45	25-Jan-16	-1	-1	7-Jun-16	1	-44
Structure, Roof and Exterior	13-May-16	27-Mar-17	20-May-16	7	19-May-17	53	18-Apr-16	-25	-32			
Interior Rough In and Framing	25-Jul-16	9-Dec-16	23-Sep-16	60	27-Jan-17	49	26-Jul-16	1	-59			
Interior Build-out	22-Aug-16	3-Feb-17	14-Nov-16	84	28-Mar-17	53	29-Sep-16	38	-46			
Area Complete, Ready for Turn over	20-Dec-16	14-Mar-17	18-Apr-17	119	22-May-17	69						
Substantial Completion	25-Apr-17	25-Apr-17	2-Jun-17	38	2-Jun-17	38						
Owner Move In	8-Jun-17	10-Aug-17	22-May-17	-17	31-Jul-17	-10						

Changed Schedule Dates

Activity has reached some or all dates

* Calendar Days

Construction Status	
Percent Complete Planned:	69%
Percent Complete Actual:	65%
Percent Construction Time Used:	69%

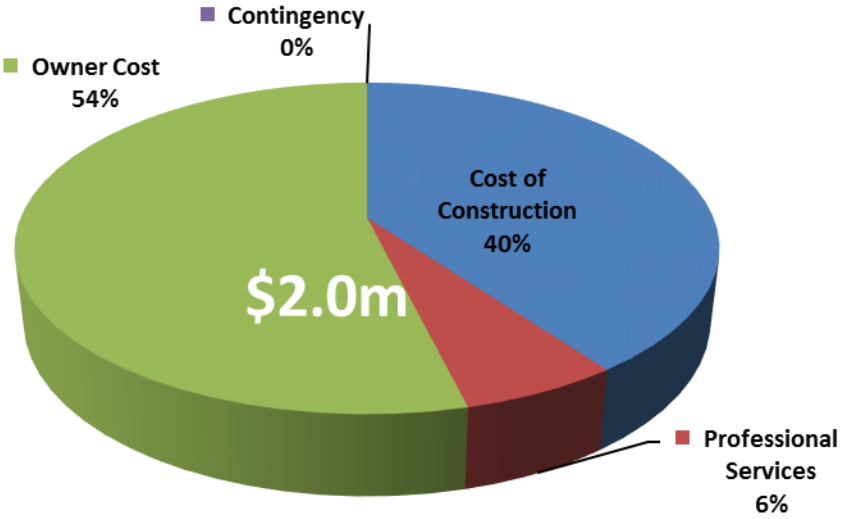
Tubman Campus Improvements

Project Description

Brief Project Description: Campus improvements to facilitate the occupancy by the Faubion PK-8 campus. Improvements are focused on accessibility, safety, and program adjustments for PK-8 users.

Current Project Phase:	Closeout
Construction Start:	May 2015
Construction Duration:	2.2 Months
Construction Completion:	August 2015
Design Firm:	BOORA Architects Inc.
Contractor:	2KG Contractors Inc.; McDonald + Wetle

Projected Budget Breakout



Comments

1. **Close out needs to be finalized**

2. **SAFETY:**
   - **Recordable Accidents: 0**
   - **Reportable Accidents: 0**

Photos

Improvement Project 2015

Project Description

Project Description: A multiple site project with multiple construction areas

Current Project Phase: Closeout

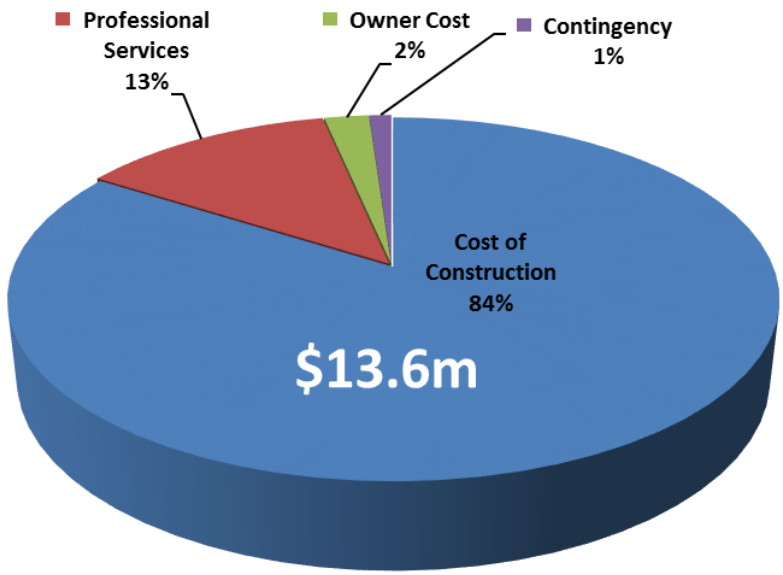
Completion: 6 May 16

Construction Duration: 65 Calendar Days for Summer Work

Design Firm	School	Roof Replacement / Seismic Bracing	Seismic Improvements	Accessibility	Science Classrooms Improvements	Construction Package
Oh Planning	Ainsworth (K-5)	X		X*		1
	Woodlawn (PK-8)			X*		
	Hayhurst (K-5)	X			X	2
	Stephenson (K-5)	X				
Oh Planning	Creative Science / Clark (K-8)	X			X	3
	Llewellyn (K-5)		X			
	Buckman (K-5)	X		X		4
	Sabin (PK-8)	X		X	X	

X* = Includes Elevator

Projected Budget Breakout



Comments

1. **All projects are complete, and the final close-out docs have been received.**

2. **The Project Turn-Over processes in eBuilder have all been submitted, and the "Close" process has been submitted.**

3. **SAFETY:**
   - **Recordable Accidents: 1**
   - **Reportable Accidents: 0**

Photos

Improvement Project 2016

Project Description

Project Description: A 7 site project with multiple construction areas

Current Project Phase: Construction & Close out

Scheduled Completion: August 2016 (Elevators Dec 2017)

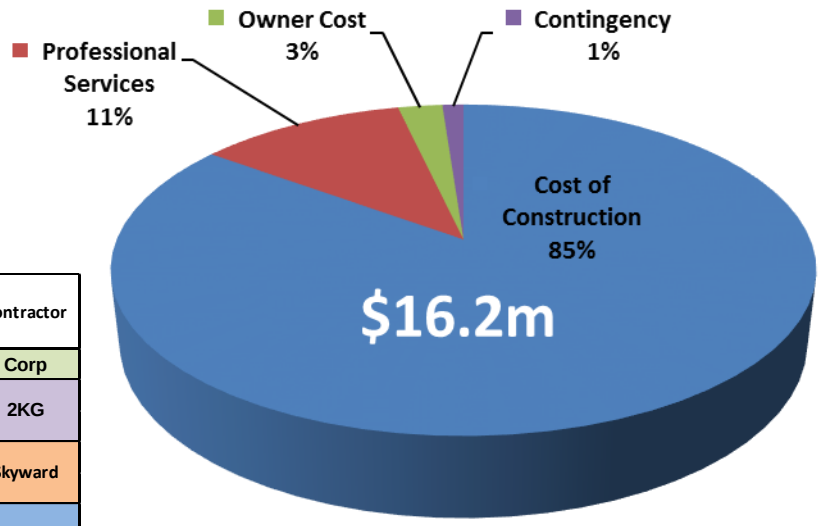
Construction Duration: 72 Calendar Days for Summer Work

Design Firm: Oh Planning & BBL

Contractor: Corp, 2KG, Skyward

Design Firm	School	Roof Replacement / Seismic Bracing	Seismic Improvements	Accessibility	Science Classrooms Improvements	Windows	Contractor
OHPD	Cleveland (9-12)	X		X			Corp
OHPD	Cesar Chavez (K-8)			X*	X		2KG
OHPD	Scott (K-8)			X*	X		
BBL	MLC (K-12)		X	X	X		Skyward
BBL	Sellwood (6-8)	X			X		
BBL	Abernethy (K-5)	X	X				2KG
BBL	Jefferson (9-12)		X	X			

Projected Budget Breakout



Comments

1. **The Cleveland Roof is now complete**
2. **Elevator work at Chavez and Scott will be completed next year per the schedule**
3. **Sprinkler system to be added to the Scott elevator shaft**
4. **SAFETY:**
   - **Recordable Accidents: 0**
   - **Reportable Accidents: 0**

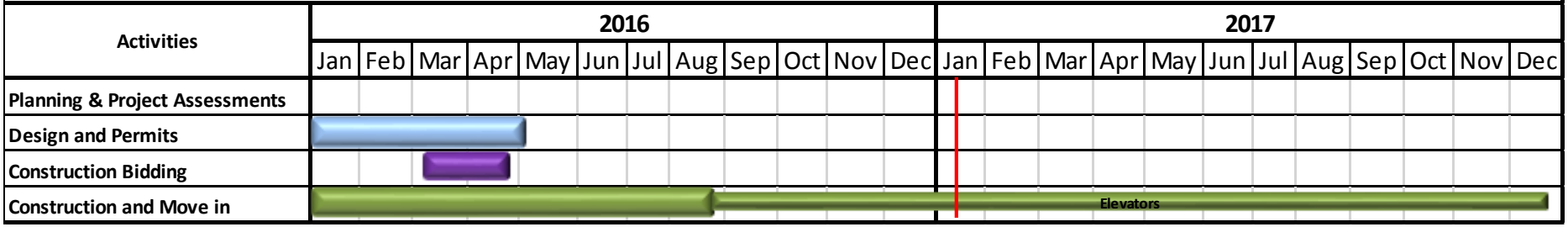
Photos

New ADA Ramp at Scott

Improvement Project 2016

Schedule

Summary Schedule



Significant Schedule Milestone Assessment

Significant Milestone Activity Name	Baseline (BL)		Schedule Update				Actual					
	Start	Finish	Start	Start Delta from BL*	Finish	Finish Delta from BL*	Start	Start Delta from BL*	Start Delta from Update	Finish	Finish Delta from BL*	Finish Delta from Update
Release Design Firm RFP	9-Feb-15	17-Mar-15	9-Feb-15	0	17-Mar-15	0	9-Feb-15	0	0	17-Mar-15	0	0
Design Notice to Proceed	15-May-15	15-May-15	12-Jun-15	28	12-Jun-15	28	23-Jun-15	39	11	23-Jun-15	39	11
Project Assessment	15-May-15	2-Jul-15	15-May-15	0	15-Sep-15	75	23-Jun-15	39	39	15-Sep-15	75	0
Schematic Design / SD	3-Jul-15	26-Aug-15	21-Jul-15	18	15-Oct-15	50	21-Jul-15	18	0	18-Nov-15	84	34
Design Development / DD	27-Aug-15	25-Oct-15	15-Sep-15	19	25-Nov-15	31	15-Sep-15	19	0	8-Jan-16	75	44
Construction Documents / CD	26-Oct-15	18-Jan-16	15-Nov-15	20	16-Feb-16	29	9-Jan-16	75	55	17-Mar-16	59	30
Permit submittal and review	30-Jan-16	29-May-16	17-Feb-16	18	31-May-16	2	14-Mar-16	44	26	15-Jun-16	17	15
Request GC ITBs	1-Feb-16	21-Feb-16	15-Mar-16	43	27-Apr-16	66	9-Mar-16	37	-6	27-Apr-16	66	0
Review GC ITBs	22-Feb-16	11-Mar-16	12-Apr-16	50	28-Apr-16	48	6-Apr-16	44	-6	19-May-16	69	21
GC Notice To Proceed	25-Mar-16	25-Mar-16	4-May-16	40	1-Jun-16	68	19-May-16	55	15	19-May-16	55	-13
Substantial Completion	25-Aug-16	25-Aug-16	20-Aug-16	-5	20-Aug-16	-5	19-Aug-16	-6	-1	19-Aug-16	-6	-1
Elevator Substantial Completion	30-Apr-17	30-Apr-17	30-Mar-17	-31	22-Dec-17	236						

Changed Schedule Dates
Activity has reached some or all completion dates

* Calendar Days

Improvement Project 2017

Project Description

Project Description: A multiple site project with multiple construction areas

Current Project Phase: Construction Documents

Scheduled Completion: August 2017

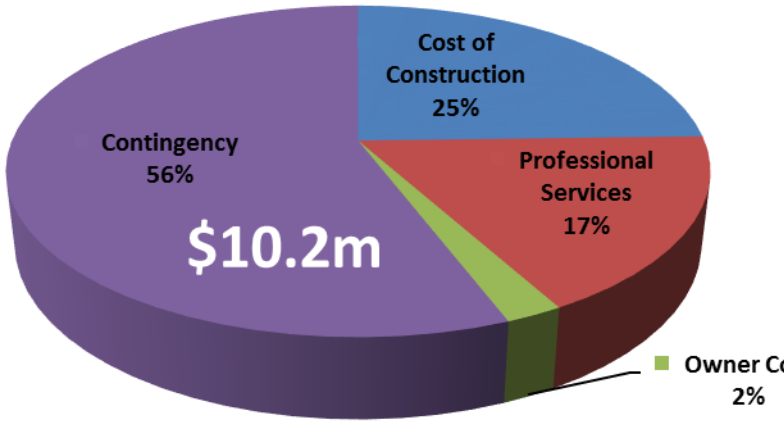
Construction Duration: 73 Calendar Days for Summer Work

Design Firm: Oh Planning & Design

Contractor: TBD

Design Firm	School	Science Classrooms Improvements	Roof Fall Protection	SRGP Funded Upgrades	Window Restoration	Bid Package
Oh Planning	Beaumont (6-8)	X				1
Oh Planning	Fernwood – Beverly Cleary (2-8)	X				
Oh Planning	Jackson (6-8)	X				
Oh Planning	Sunnyside (K-8)	X				
Oh Planning	Vestal (K-8)	X				
Oh Planning	Winterhaven (K-8)	X				
Oh Planning	Lewis (K-5)			X		2

Projected Budget Breakout



Comments

1. **The Construction Duration has been reduced by at least 2 work days due to school closures this winter**
2. **The scope of work has been modified from the last presentation**
3. **The budget will be reduced at the end of CDs**
4. **The seismic work at Lewis is dependent on a more significant SRGP grant**
5. **Evacuation chairs are being added to the scope of work**

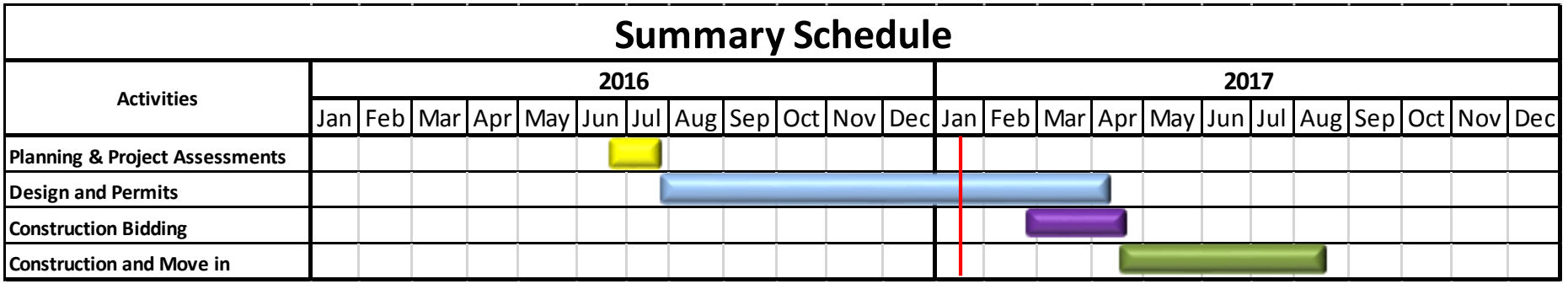
Photos

LEWIS ELEMENTARY SCHOOL

Improvement Project 2017

Schedule

Summary Schedule



Significant Schedule Milestone Assessment

Significant Milestone Activity Name	Baseline (BL)		Schedule Update				Actual					
	Start	Finish	Start	Start Delta from BL*	Finish	Finish Delta from BL*	Start	Start Delta from BL*	Start Delta from Update	Finish	Finish Delta from BL*	Finish Delta from Update
Release Design Firm RFP	14-Mar-16	25-Apr-16	14-Mar-16	0	25-Apr-16	0	14-Mar-16	0	0	26-Apr-16	1	1
Design Notice to Proceed	20-Jun-16	20-Jun-16	20-Jun-16	0	20-Jun-16	0	23-Jun-16	3	3	23-Jun-16	3	3
Project Assessment	20-Jun-16	29-Jul-16	20-Jun-16	0	29-Jul-16	0	23-Jun-16	3	3	29-Jul-16	0	0
Schematic Design	30-Jul-16	16-Sep-16	30-Jul-16	0	16-Sep-16	0	29-Jul-16	-1	-1	29-Sep-16	13	13
Design Development	17-Sep-16	10-Nov-16	17-Sep-16	0	10-Nov-16	0	3-Oct-16	16	16	1-Dec-16	21	21
Construction Documents	11-Nov-16	3-Feb-17	11-Nov-16	0	3-Feb-17	0	1-Dec-16	20	20			
Permit submittal and review	16-Feb-17	21-Apr-17	16-Feb-17	0	7-Apr-17	-14						
Request GC Proposals	27-Feb-17	24-Mar-17	27-Feb-17	0	24-Mar-17	0						
Review GC Proposals	27-Mar-17	21-Apr-17	27-Mar-17	0	7-Apr-17	-14						
GC Notice To Proceed	1-May-17	1-May-17	14-Apr-17	-17	14-Apr-17	-17						
Substantial Completion	25-Aug-17	25-Aug-17	25-Aug-17	0	25-Aug-17	0						
Elevator Substantial Completion	17-Aug-18	17-Aug-18	17-Aug-18	0	17-Aug-18	0						

Activity has reached some or all completion dates

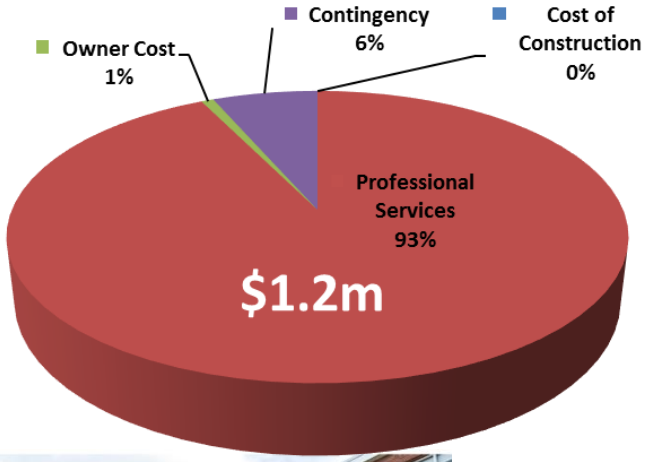
* Calendar Days

Master Planning

Project Description

Project Description: Master Planning for three campuses
Current Project Phase: Closeout
Scheduled Completion: June 2016
Design Firms: Benson: DOWA
Lincoln: Boora
Madison: OPSIS Architecture

Projected Budget Breakout



Benson Campus

Lincoln High School

Madison High School

Comments

1. **All three master plans are complete and in closeout**

2. **All deliverables have been received.**

Photos

2015 Performance Audit Recommendations

#	Abbreviated Recommendation	Response	Status
1	OSM should ensure that change order work occur only upon appropriately authorized change order execution	Concur	Complete
2	Streamline the submittal process on e-Builder	Concur	Complete
3	Incorporate appropriate design recommendations from IP lessons learned	Concur	Complete
4	Develop plans for utilizing available contingencies and reserves	Concur with comment	Complete
5	Establish written policies and procedures in the SOP pertaining to GMP spending	Concur with comment	Complete
6	Consider increasing the funding for master planning	Concur with comment	Complete
7	Fully involve user groups and stakeholders in updating the LRFP and Ed Specs	Concur	Complete
8	Update the currently posted PMP	Concur	Complete
9	Critical elements of the PTMP should be put in place at the beginning of each project	Concur	Complete
10	Only use escalation reserve to fund scope changes when escalation will not be needed for other projects	Complete	Complete
11	OSM should continue to develop systems for uniform filing of documents in e-Builder	Concur with comment	Complete
12	Clarify where and when SOP requirements and procedures are proscribed for CM/GC and D-B-B projects	Concur	Complete
13	Revise the SOP to provide greater explanation of and requirements for value engineering, Project Safety and Security Plans, Site Safety Plans, and project quality	Concur	Working
14	Update the SOP to provide more detailed and accurate information with respect to the alternative contracting	Concur	Working
15	OSM should clarify which projects require the use of 1.5 percent for green technology	Complete	Complete
16	OSM should consider revising elements of the budget perspective reporting	Nonconcur	Complete
17	OSM should identify opportunities for savings in payroll and management support line items	Concur with comment	Complete
18	OSM should consider adding specific statutory responsibility requirements to future ITBs	Complete	Complete
19	OSM/P&C should ensure that RFPs clearly state the criteria and weighting for making a choice of one or more firms if an RFP permits one or more firms to be selected by an RFP	Complete	Complete
20	OSM and FAM should consider internal training sessions on public contract procurement law	Concur	Complete
21	Begin work only with signed and executed contracts	Concur	Complete
22	OSM should remove article 19e from existing and future CM/GC contracts	Concur	Complete
23	OSM should modify contract language to specify how early work may occur	Complete	Complete
24	Project communication plans are to be prepared at the start of new projects	Concur	Complete
25	OSM and PPS academic leadership should jointly develop an involvement plan	Concur	Working
26	- Provide more flexibility in the selection of subcontractors PPS contracts - Obtain a written legal opinion about best practices and risks addressing the MWESB aspirational goal	Concur with comment	Complete

This Report 88% Complete – Last Report 81% Complete

2016 Performance Audit Recommendations

#	Abbreviated Recommendation	Response	Status
1	OSM should ensure that all monthly project budget projections are updated on a timely basis and include rough order of magnitude (ROM) estimates of potential changes	Concur	Complete
2a	OSM should ensure that future CM/GC contracts have provisions that require proactive participation of the CM/GC with the architect	Nonconcur	Complete
2b	Ensure that the GMPs for future CM/GC projects are negotiated and executed at the contractually proscribed point in design	Concur with comment	Working
3	Ensure that all future GMP amendments are consistent with the letter and intent of applicable law and policy	Completed	Complete
4	Consider increases to general conditions work for additive changes to the GMP only when time is extended	Nonconcur	Complete
5a	Provide a workable format in e-B for processing CM/CG contract changes in a timely fashion	Completed	Complete
5b	Ensure that change orders and draw-downs for CM/GC projects receive appropriate approvals	Completed	Complete
6	P&C and OSM should investigate ways to provide more complete information to help the selection committees	Completed	Complete
7	OSM should make by the completion of schematic design: value engineering reductions, scope reductions, increase the project budget	Completed	Complete
8a	OSM should modify the SOPs to provide specific targets or ranges for project contingency at key stages of design	Nonconcur	Complete
8b	The SOP should provide greater specificity on how the program will provide project budget oversight	Nonconcur	Complete
8c	OSM program management should ensure the development of comprehensive and detailed PTMP templates for projects	Concur with comment	Complete
8d	OSM program management should hold project management staff accountable for producing comprehensive and functional PTMPs	Concur with comment	Complete
8e	Written lessons learned should be developed and updated regularly from information obtained from the FHS, RHS and GHS projects	Completed	Complete
9	SOP should be updated to provide greater clarity and specific guidelines for line item budgeting for master planning	Nonconcur	Complete
10a	OSM should assess the factors that have contributed to a pattern of IP projects bidding over budget and continue to explore ways to develop designs that bid within budget	Completed	Complete
10b	OSM should start design of IP projects earlier and issue invitations to bid earlier	Completed	Complete
10c	OSM should consider adding in the bid specification, minimum qualifications requirements for designated systems	Concur	Working
11a	OSM should ensure that the program is subject to greater oversight by district program management	Completed	Complete
11b	OSM management should ensure that the OSM Project Management Plan and Standard Operating Procedures are complete and updated on a regular basis	Concur with comment	Working
12	OSM should re-evaluate the effectiveness of using the CM/GC alternative procurement methodology with current OSM staffing, and consider other procurement methodologies (ie design-bid-build) as well as CM/GC for future modernization projects	Completed	Complete
13	OSM and P&C should procure the services of future CM/GC firm by the beginning or mid-point of schematic design	Completed	Complete
14	Begin the process of procurement of firms to develop Ed Specs revisions and master plans with sufficient additional time or float to accommodate for delays and, protests	Completed	Complete
15	To provide more flexibility in the selection of subcontractors, PPS CM/GC contracts should proscribe dollar limits up to which the CM/GC firms may procure subcontractors by competitive quotes, with the prior approval of the district	Completed	Complete

This Report 88% Complete – Last Report 79% Complete

Bond Accountability Committee Meeting

January 18, 2017